

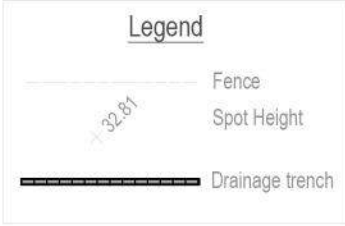
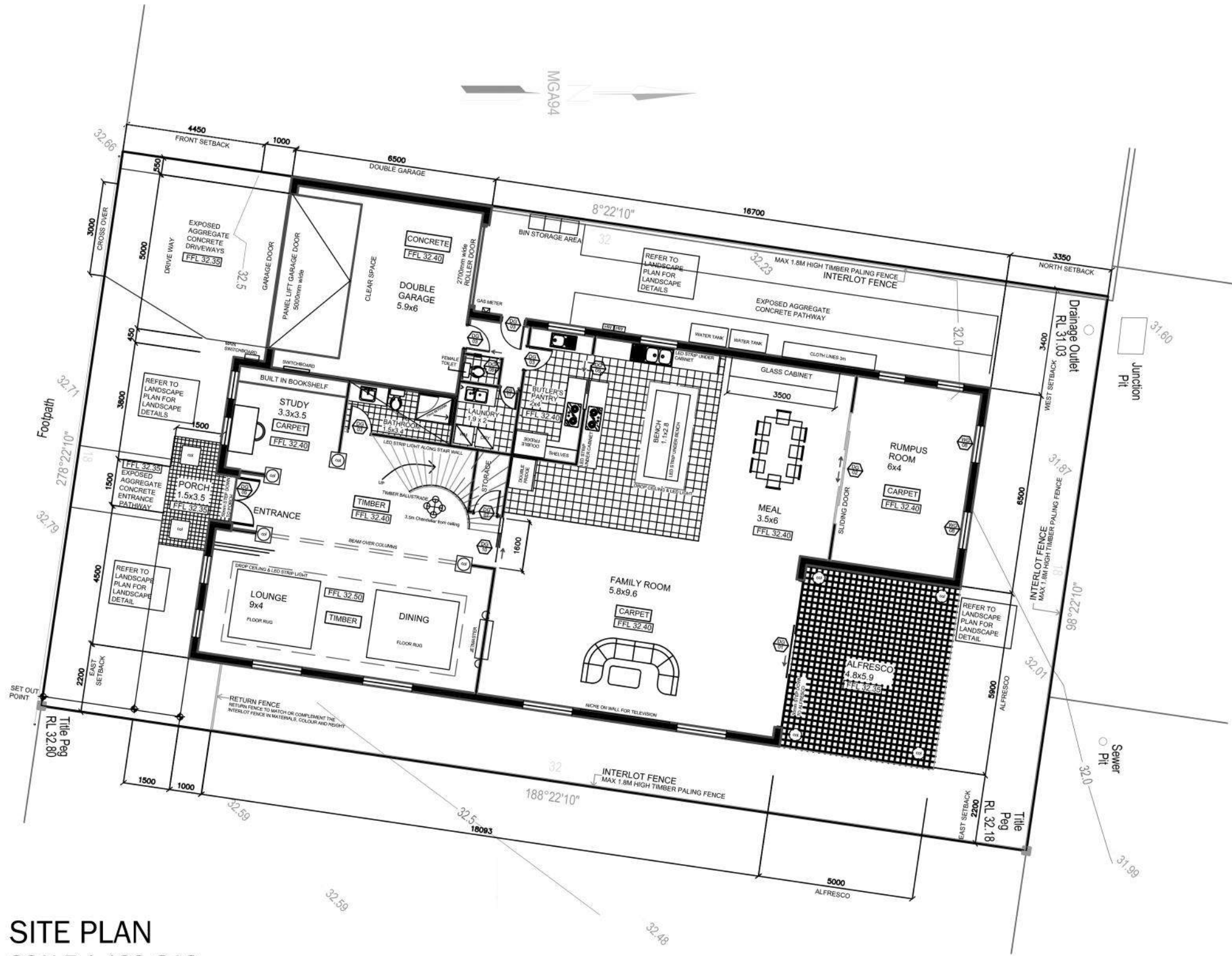
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1. These drawing shall be read in conjunction with all other consultants' drawings and documents and with any other written instructions issued in the course of the building contract and specification
2. DO NOT SCALE FROM DRAWINGS, figured dimensions shall take precedence over scaled dimensions. Site plan measurements in meters- all other measurements in milimeters
3. Set outs, levels, and dimensions shall be verified prior to comencement of any works being carried out and/or materials being ordered. A survey has been supplied, floor levels are determined by assumed levels adjacent to residence and maybe adjusted on site by builder at builder discretion.
4. Retaining walls to be constructed immediately after excavation. Retaining walls to be constructed and protection notice served in accordance with Building Act 1993. Owner/ contractor is to provide insurance, survey of existing conditions and neighbors consent for construction in accoradnace with Act.
5. Walls on boundaries to comply with Recode Clause 55. Max Ave. Height 3.00 m on or within 150mm of boundary. Minimum 1.00m light court to neighbors
6. Fire separation of buildings on boundary to NCC.3.7.1
7. Stormwater drains to be drained to legal point of discharge as directed by local authority and in accordance with AS3500.3. All sewer pipes should be connected to existing sewer lines as per council regulations
8. Windows and door as per AS 2047-2014
9. Concrete slab and surrounding as per AS 3600
10. Timber materials, workmanship and practice as per AS 1720 TIMBER ENGINEERING CODE AND AS 1684 TIMBER FRAMING CODE.

## DRAWING SCHEDULE

BP-00	COVER SHEET/ GENERALNOTES	
BP-01	PROPOSED BUILDING & SITE PLAN	1:150 @A3
BP-02	GROUND FLOOR PLAN	1:100 @A3
BP-03	FIRST FLOOR PLAN	1:100 @A3
BP-04	ELEVATIONS	1:100 @A2
BP-05	FRONT ELEVATION RENDER	1:100 @ A3
BP-06	SECTION, WINDOW & DOOR SCHEDULE	1:100 @A2
BP-07	ROOF PLAN	1:100 @A3
BP-08	LANDSCAPE PLAN	1:100 @A1, 1:200 @A3
BP-09	VISUAL SAMPLES	
BP-10	JOINERY AND INTERNAL ELEVATION	(to be finalized)
BP-11	ELECTRICAL PLAN	(to be finalized)



- NOTES:**
- ANY SERVICE EQUIPMENT, SHEDS, BINS, AND OTHER ANCILLARY ITEMS MUST MEET THE REQUIREMENTS OF SECTION 4.4 OF TULLIANLLAN DESIGN GUIDELINES
  - ALL FENCES MUST COMPLY WITH THE REQUIREMENTS OF SECTION 4.3 OF TULLIANLLAN DESIGN GUIDELINES
  - THIRD PIPE MUST BE CONNECTED TO ALL TOILETS AND FRONT AND REAR GARDEN IRRIGATION, AS PER SECTION 3.3 RECYCLED WATER OF THE TULLIANLLAN DESIGN GUIDELINES
  - LETTER BOX MUST COMPLEMENT THE DWELLING IN COLOR, DESIGN AND MATERIAL. SINGLE POST SUPPORTED LETTERBOXES ARE NOT PERMITTED
  - SITE AREA FOR SOFT+ HARD LANDSCAPE REFER TO NADIKA DESIGN LANDSCAPE DRAWING ( CLIENTS TO DISCUSS WITH BUILDER/ CONTRACTOR)

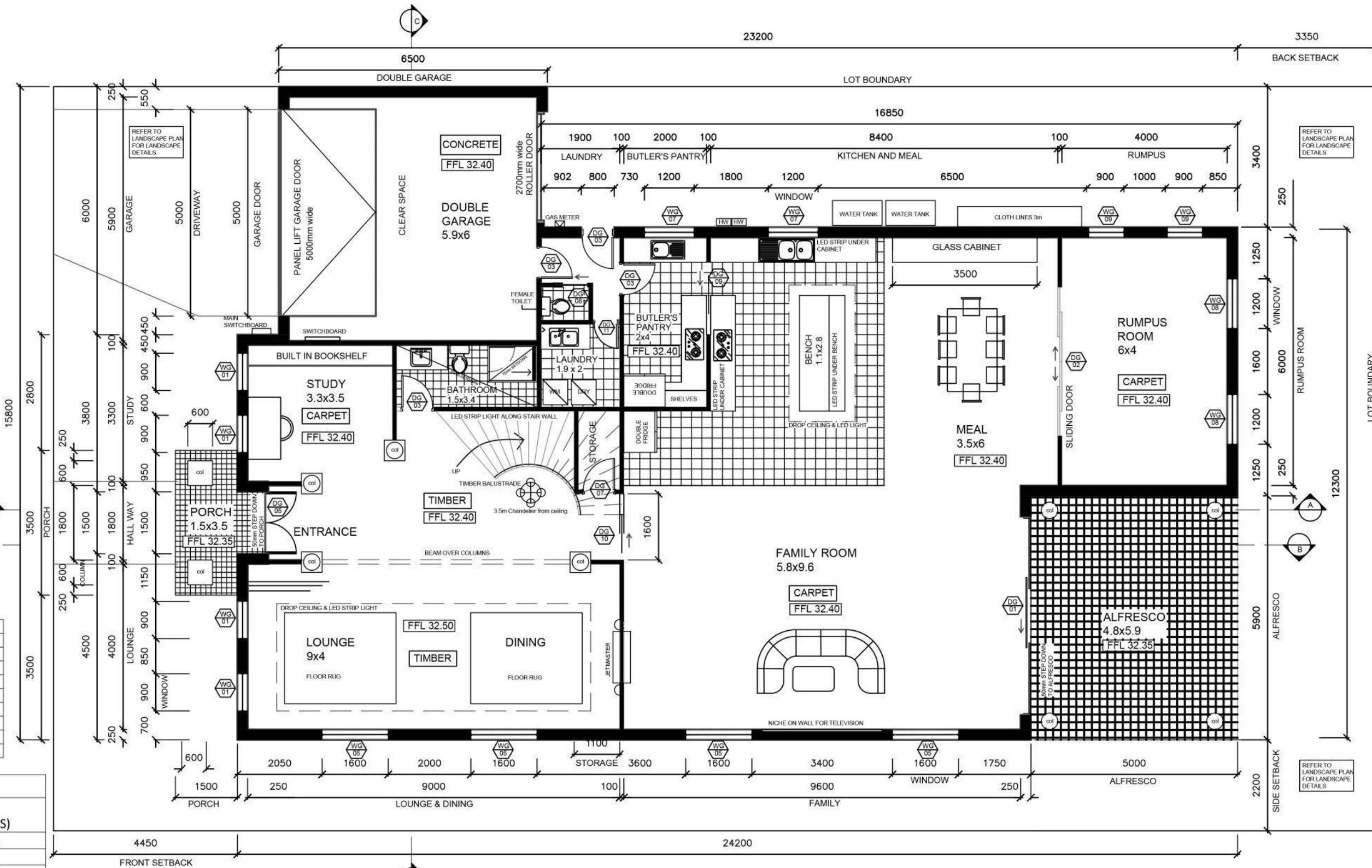
**SITE PLAN**  
SCALE 1:100 @A3

- NOTE:
- ALL SHOWER AREAS HAVE TILES AS PER CLIENT SPECIFICATIONS
  - 20mm SETDOWN IN ALL BATHROOMS
  - 75mm SETDOWN IN SHOWER AREA IN ALL BATHROOMS/ ENSUITES. REFER TO ENGINEERING DRAWINGS FOR DETAILS.
  - PROVIDE DRAINAGE IN CENTER OF BATHROOMS/ ENSUITE AND SLOPE TOWARDS THE DRAINAGE POINTS
  - PROVIDE DRAINAGE POINTS ON BALCONY/ PORCH/ ALFRESCO. DRAIN PIPE TO LPOD
  - 250MM BRICK VENEER WALLS (90mm STUD, 50mm CAVITY, 110mm BRICK) FOR ALL EXTERNAL WALLS

AREAS	
SITE AREA	576
TOTAL BUILDING FOOTPRINT (GROUND FLOOR + GARAGE + PORCH)	353.78 m <sup>2</sup>
SITE COVERAGE	61.4%

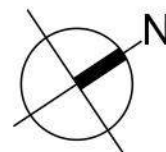
AREA SCHEDULE	
GROUND FLOOR HABITABLE	226.65
GROUND FLOOR ALFRESCO	28.3 sqm
GROUND FLOOR GARAGE	35.4 sqm
GROUND FLOOR PORCH	5.25 sqm
FIRST FLOOR HABITABLE	203.83 sqm
BALCONY	5.25 sqm
TOTAL HABITABLE AREAS (NO WALLS)	517.98 sqm
TOTAL ALFRESCO + BALCONY + PORCH	38.8 sqm
TOTAL BUILDING AREA WITH WALLS	659.11 sqm

GROUND FLOOR		
ROOM SIZE	SIZE (mm)	AREA (NO WALLS)
Garage	6000x5900	35.4 sqm
Lounge and dining	9000x4000	36 sqm
Family room	5800x9600	55.7 sqm
Rumpus	6000x4000	24 sqm
Kitchen	4000x5000	20 sqm
Butler's pantry	2000x4000	8 sqm
Meal area	3500x6200	21.7 sqm
Bathroom	3400x1500	5.1 sqm
Toilet	1500x2000	3 sqm
Female toilet	800x1200	0.9 sqm
Laundry	1900x2000	3.6 sqm
Study	3300x3500	11.55 sqm
Storage	1000x1900	1.9 sqm
Alfresco	4800x5900	28.3 sqm
Hallway	1800x8500	15.3 sqm
Porch	3500x1500	5.25 sqm
Stair	5350 x2000	10.7
TOTAL NO WALLS		286.4 sqm
TOTAL WITH WALL		353.78 sqm



## GROUND FLOOR PLAN

SCALE 1:100 @A3

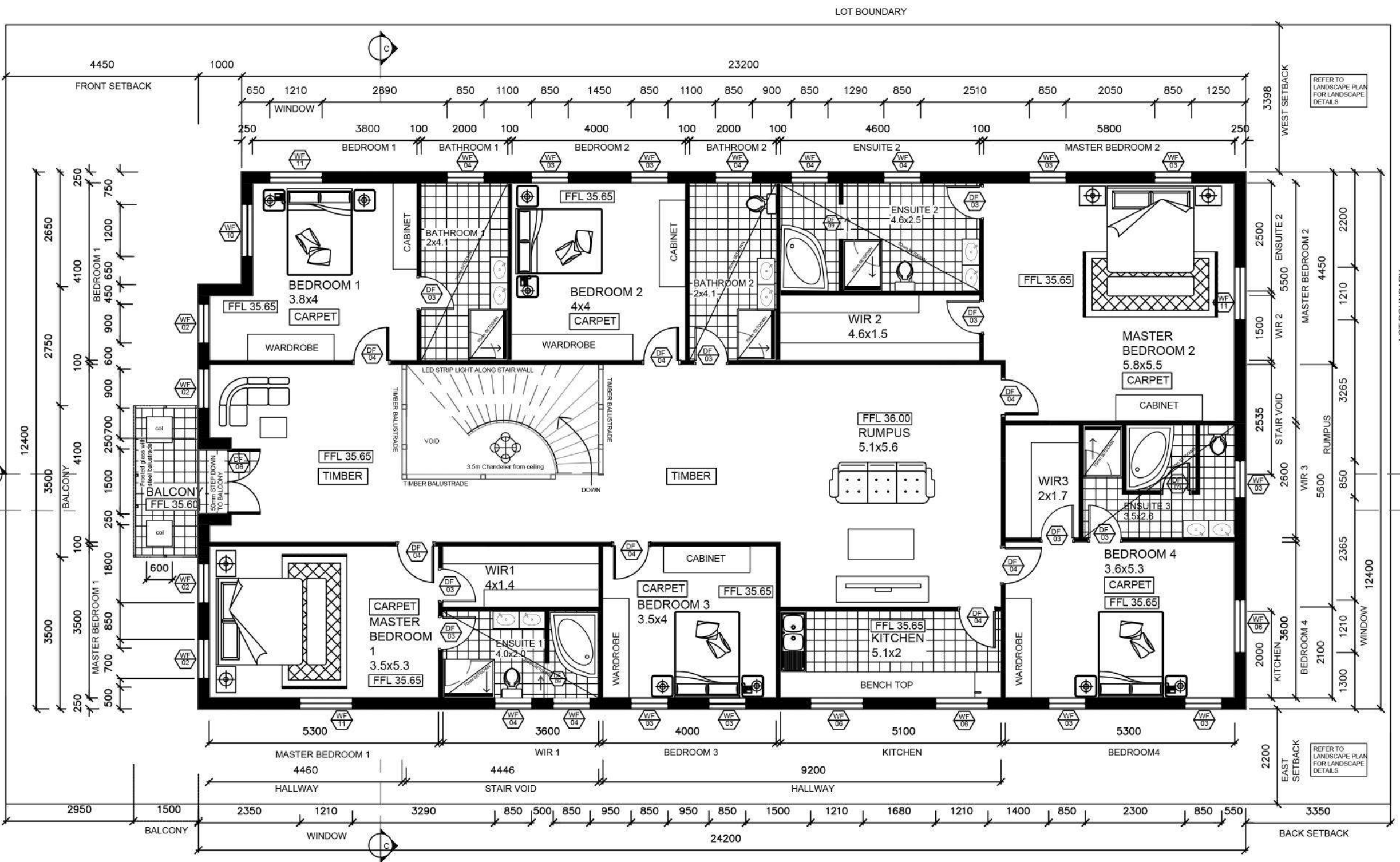


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- NOTE:
- ALL SHOWER AREA HAVE TILES AS PER CLIENT SPECIFICATION
  - 20mm SETDOWN IN ALL BATHROOMS
  - 75mm SETDOWN IN SHOWER AREA IN ALL BATHROOMS/ ENSUITES. REFER TO ENGINEERING DRAWINGS FOR DETAILS.
  - PROVIDE DRAINAGE IN CENTER OF BATHROOMS/ ENSUITE AND SLOPE TOWARDS THE DRAINAGE POINTS
  - PROVIDE DRAINAGE POINTS ON BALCONY/ PORCH/ ALFRESCO. DRAIN PIPE TO LPOD
  - 250MM BRICK VENEER WALLS (90mm STUD, 50mm CAVITY, 110mm BRICK) FOR ALL EXTERNAL WALLS

FIRST FLOOR		
ROOM SIZE	SIZE (mm)	AREA (NO WALLS)
Master bedroom 1	3500x5300	18.55sqm
Mater bed room 2	5500 x 5800	31.9 sqm
Bedroom 1	4000 x 3800	15.2 sqm
Bedroom 2	4000 x 4000	16 sqm
Bedroom 3	3500 x 4000	14 sqm
Bedroom 4	3600 x 5300	19.08 sqm
Rumpus room	5100 x 5600	28.56 sqm
Bathroom 1	2000 x 4100	8.2 sqm
Bathroom 2	2000 x 4100	8.2 sqm
Ensuite 1	4000 x 2000	8 sqm
Ensuite 2	4600 x 2500	11.5 sqm
Ensuite 3	2800x2500	7 sqm
WIR 1	4000x1400	5.6 sqm
WIR 2	4600x1500	6.44 sqm
WIR 3	1700x2000	3.4sqm
Kitchen	2000x5100	10.2 sqm
Hallway		22.5 sqm
Balcony	3500x1500	5.25 sqm
TOTAL NO WALLS		231.58 sqm
TOTAL WITH WALL		305.33 sqm



**FIRST FLOOR PLAN**  
SCALE 1:100 @A3

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**SOUTH ELEVATION**  
SCALE 1:100 @A2



**NORTH ELEVATION**  
SCALE 1:100 @A2



**EAST ELEVATION**  
SCALE 1:100 @A2



**WEST ELEVATION**  
SCALE 1:100 @A2

**NOTE:**

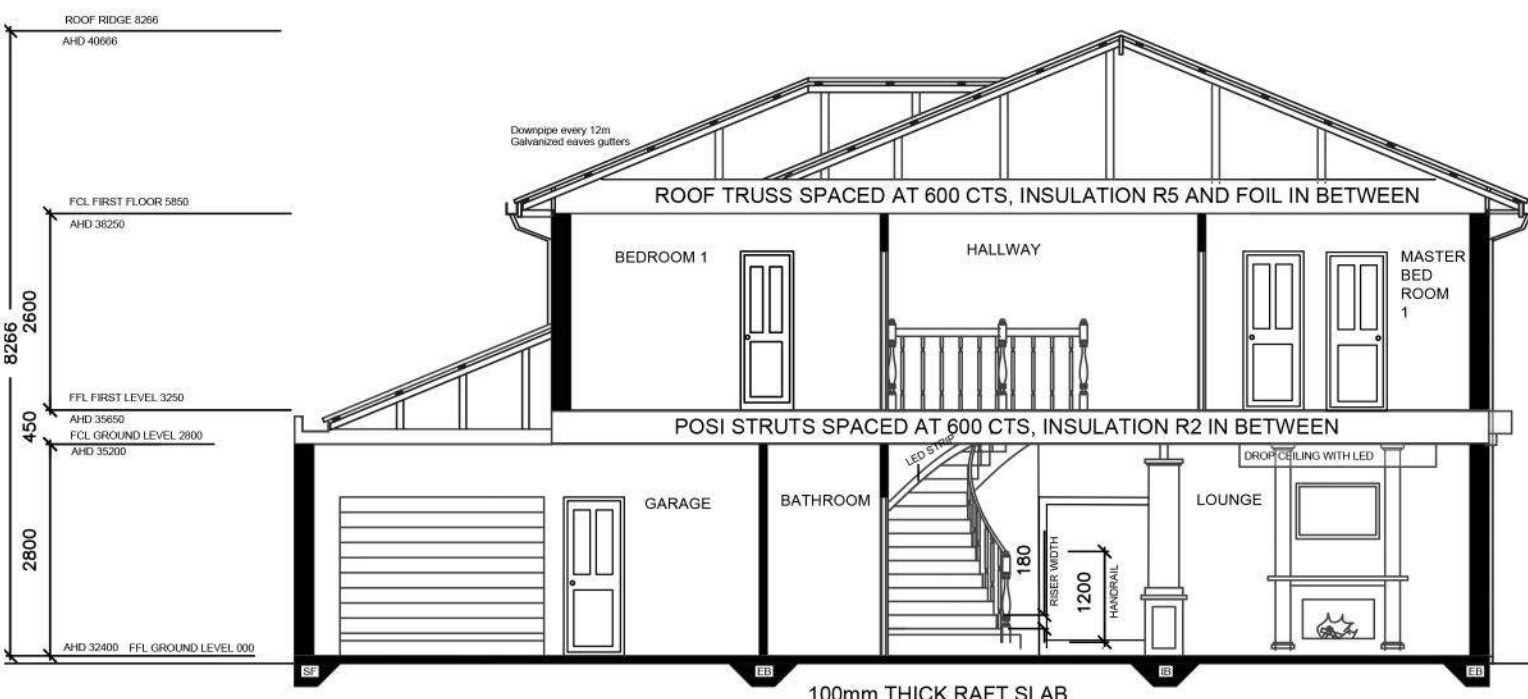
- PORCH AND BALCONY CLADDED WITH STACKSTONE. COLORS TO CONTRACTOR/BUILDER/CLIENT SPECIFICATION
- 250mm BRICK VENEER CAVITY WALL FOR EXTERNAL WALL. COLOR OF BRICKWORK AS PER CLIENT/ BUILDER/CONTRACTOR SPECIFICATION
- FRONT FACADE IS PAINTED AS PER CLIENT/ BUILDER/ CONTRACTOR SPECIFICATION. ALL MATERIALS ON FRONT FACADE RETURN ALONG SIDE ELEVATION FOR 1.5m
- 450mm EAVES AND 150mm EAVES GUTTER TO ENTIRE UPPER LEVEL
- 200mm PARAPET WITH 200 BOX GUTTER ABOVE GARAGE WALL
- PROVIDE 90mm DIAMETER DOWNPIPE EVERY 12M
- HIP ROOF WITH 22.5 PITCH CLADDED WITH CONCRETE ROOF TILES
- WINDOWS AND DOORS TO BE REVIEWED BY CLIENTS
- EXTERNAL DOORS (ENTRANCE AND BALCONY) TO BE DECIDED WITH CONTRACTOR/BUILDER/CLIENT

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**MATERIAL SCHEDULE**

	230X110X76mm EXPOSED BRICK WALL	NORTH, EAST AND WEST FACADE
	STACK STONE	PORCH AND BALCONY CLADDING
	COLORBOND PANEL LIFT GARAGE DOOR	FRON FACADE, GARAGE
	BRICK WALL WITH PAINT FINISH COLOR SPECIFIED IN DRAWING	EAST, WEST AND NORTH FACADE



SECTION C @ SCALE 1:100

**NOTE FOR CONSTRUCTION**  
( BUILDER/CLIENT CAN SELECT AND SPECIFY ALTERNATIVE MATERIALS)

CLIENTS TO SUPPLY ALL TILING, PAINTING, BRICKWORK & RENDER FOR INTERNAL AND EXTERNAL WALL+FLOOR ( TO BE DISCUSSED WITH BUILDER/ CLIENT)

**INTERNAL WALL:**  
 - 90mm STUD WALL AS PER AS 1684 +R2.5 INSULATION +10mm PLASTERBOARD WITH PAINT FINISH  
 - INTERNAL TILE LINING HEIGHT IN WET AREAS AND KITCHEN TO BE DECIDED BY CLIENTS/ BUILDER

**EXTERNAL WALL:**  
 - 250mm BRICK VENEER CAVITY WALL AS PER AS3700 (90mm STUD,50mm CAVITY AND 110mm BRICK). PAINTED BRICK VENEER WALL AT FRONT FACADE WITH MATERIALS RETURNING 1.5m ON EAST, WEST FACADE

**FLOOR SYSTEM - GROUND FLOOR:**  
 - 100mm INFILL SLAB AND FLOOR FINISHED AS SPECIFIED IN FLOOR PLANS IN ACCORDANCE WITH AS3600. REFER TO STRUCTURAL DRAWINGS FOR SLAB DETAILS

**FLOOR SYSTEM- FIRST FLOOR:**  
 - POSI STRUTS @ 600mm CTS WITH R2 INSULATION IN BETWEEN +10mm YELLOW TONGUE PARTICLE BOARD. FLOOR FINISHES SPECIFIED IN FLOOR PLANS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS

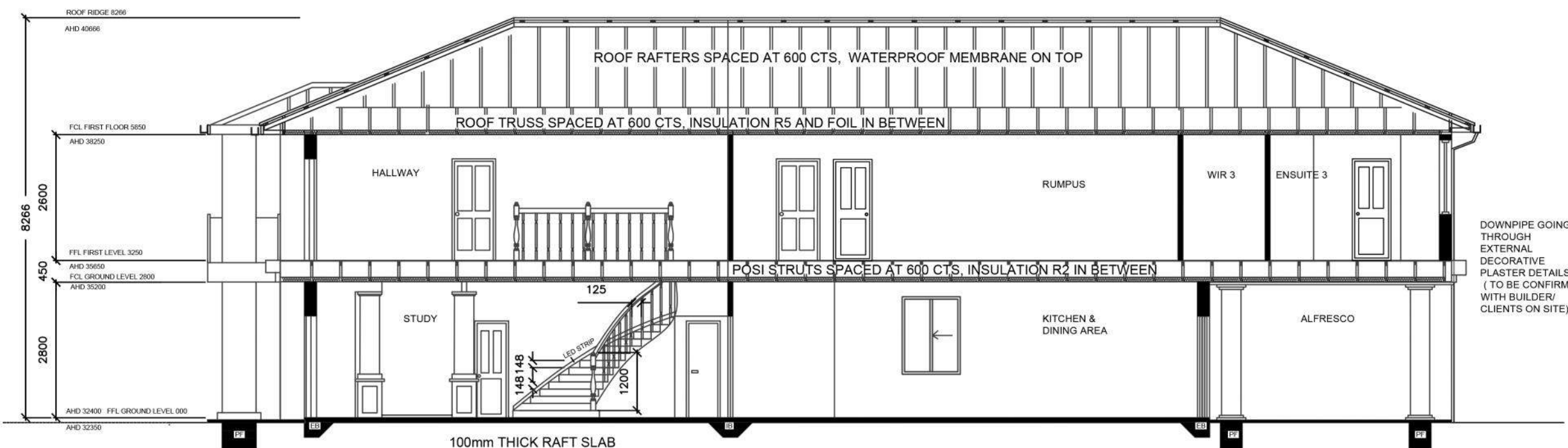
**ROOF:**  
 - HIP ROOF WITH 22.5 PITCH, WATERPROOFING MEMBRANE ON TOP  
 - ROOF CLADDED WITH CONCRETE ROOF TILES  
 - PROVIDE 90mm DIAMETER DOWNPIPE EVERY 12m

**WINDOW & DOORS:**  
 - SIZE AND MATERIALS SELECTED FROM RYLOCK WINDOWS  
 - ALUMINUM FRAME USED FOR ALL WINDOWS  
 - ALL WINDOWS HAVE FLYSCREEN  
 - TIMBER FRAME USED FOR ALL INTERNAL DOORS EXCEPT D2

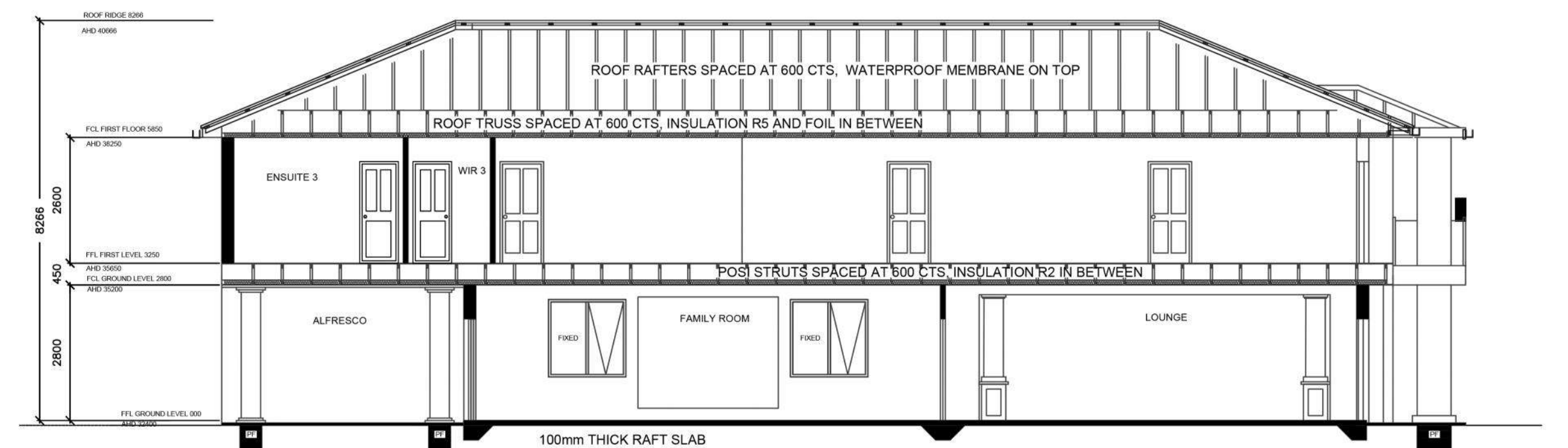
- EXTERNAL TIMBER DOORS USE SOLID TIMBER FRAME  
 - TIMBER TREATED FOR WET AREA  
 - GLAZING STRENGTH TO MINIMUM RATING AS PER AS4055-2006  
 - WINDOWS AND DOORS SELECTED AS SUGGESTED BY ENERGY REPORT FROM FRATER GROUP  
 - ADJUSTMENTS IN SIZE AND MATERIALS CAN BE MADE ON SITE ( TO BE DISCUSSED WITH BUILDER/ CONTRACTOR)

WINDOW SCHEDULE WALL OPENINGS DIMENSION							
Size and materials selected from RYLOCK WINDOWS							
	CODE	TYPE	HEIGHT	WIDTH	QTY	ROOMS	REMARKS
W1	WG-1	Casement	2100	900	4	Study, Lounge and dining	Clear glass with aluminum frame
W2	WF-2	Casement	1700	900	4	Bedroom1, Master bedroom 1	Clear glass with aluminum frame
W3	WG-3 WF-3	Awning	1372	850	9	Bedrooms	Clear glass with aluminum frame
W4	WF-4	Awning	1372	850	6	Bathrooms	Frosted glass with aluminum frame
W5	WG-5 WF-5	Combined fixed and awning	1600	1600	4	Lounge and dining, Family room	Clear glass with aluminum frame
W6	WG-6 WF-6	Sliding	1372	1210	3	Bedroom 4, kitchen on 1 <sup>st</sup> floor	Clear glass with aluminum frame
W7	WG-7	Sliding	1600	1200	2	Butler's pantry, Kitchen on groundfloor	Clear glass with aluminum frame
W8	WG-8	Combined fixed and awning	1600	1200	2	Rumpus room	Clear glass with aluminum frame
W9	WG-9	Awning	1500	900	2	Rumpus room	Clear glass with aluminum frame
W10	WG-10	Casement	1700	1200	1	Bedroom	Clear glass with aluminum frame
W11	WG-11	Combined fixed and awning	1372	1210	2	Bedroom 1, Master bedroom 1	Clear glass with aluminum frame

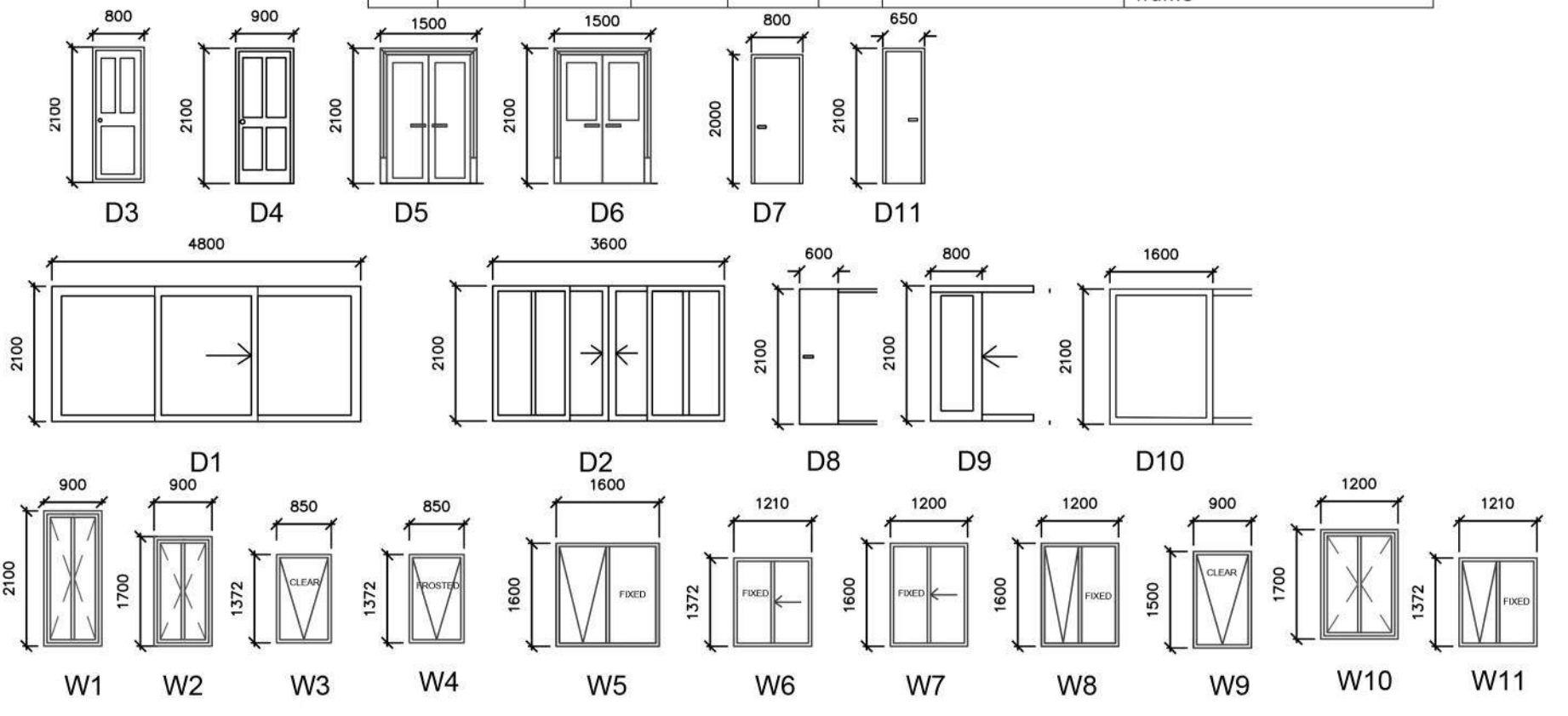
DOOR SCHEDULE WALL OPENINGS DIMENSION							
	CODE	TYPE	HEIGHT	WIDTH	QTY	ROOMS	REMARKS
D1	DG-1	Sliding	2100	4800	1	Rumpus room ground floor	Clear glass with timber frame
D2	DG-2	Sliding	2100	3600	1	Family room	Clear glass with aluminum frame from RYLOCK
D3	DG-3 DF-3	Single	2100	800	13	Kitchen, Bathrooms, WIR	Timber frame
D4	DG-4 DF-4	Single	2100	900	7	Bedrooms	Timber frame
D5	DF-5	Double	2100	1500	1	Balcony	Clear glass with solid timber frame
D6	DG-6 DF-6	Double	2100	1500	2	Entrance	Clear glass with solid timber frame
D7	DG-7 DF-1	Single	2000	800	1	Storage	Timber frame
D8	DG-8	Sliding	2100	600	1	Female toilet	Timber frame
D9	DG-9 DF-9	Sliding	2100	800	3	Kitchen, Ensuities	Clear glass with timber frame
D10	DG-10	Sliding	2100	1600	1	Family room	Clear glass with timber frame
D11	DG-11	Single	2100	650	1	Laundry	Clear glass with aluminum frame



SECTION A @ SCALE 1:100



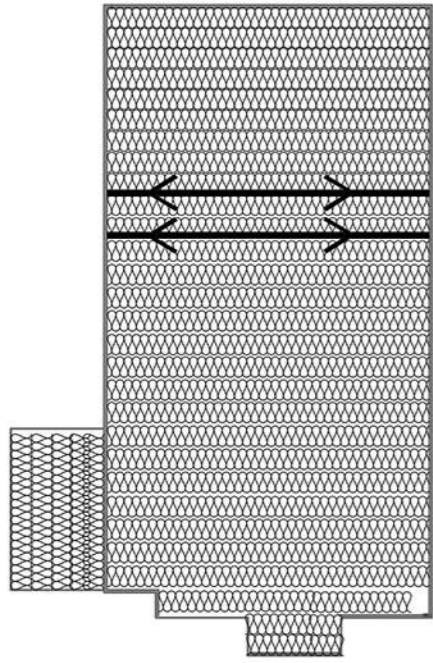
SECTION B @ SCALE 1:100



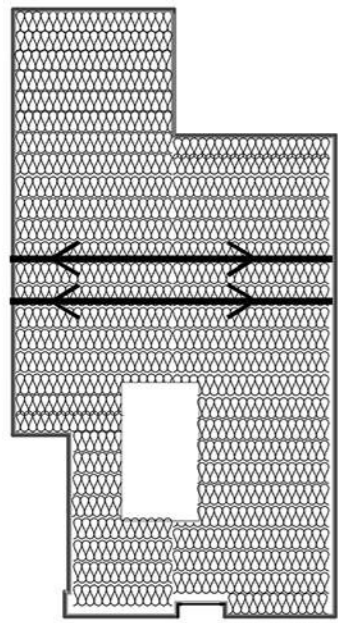
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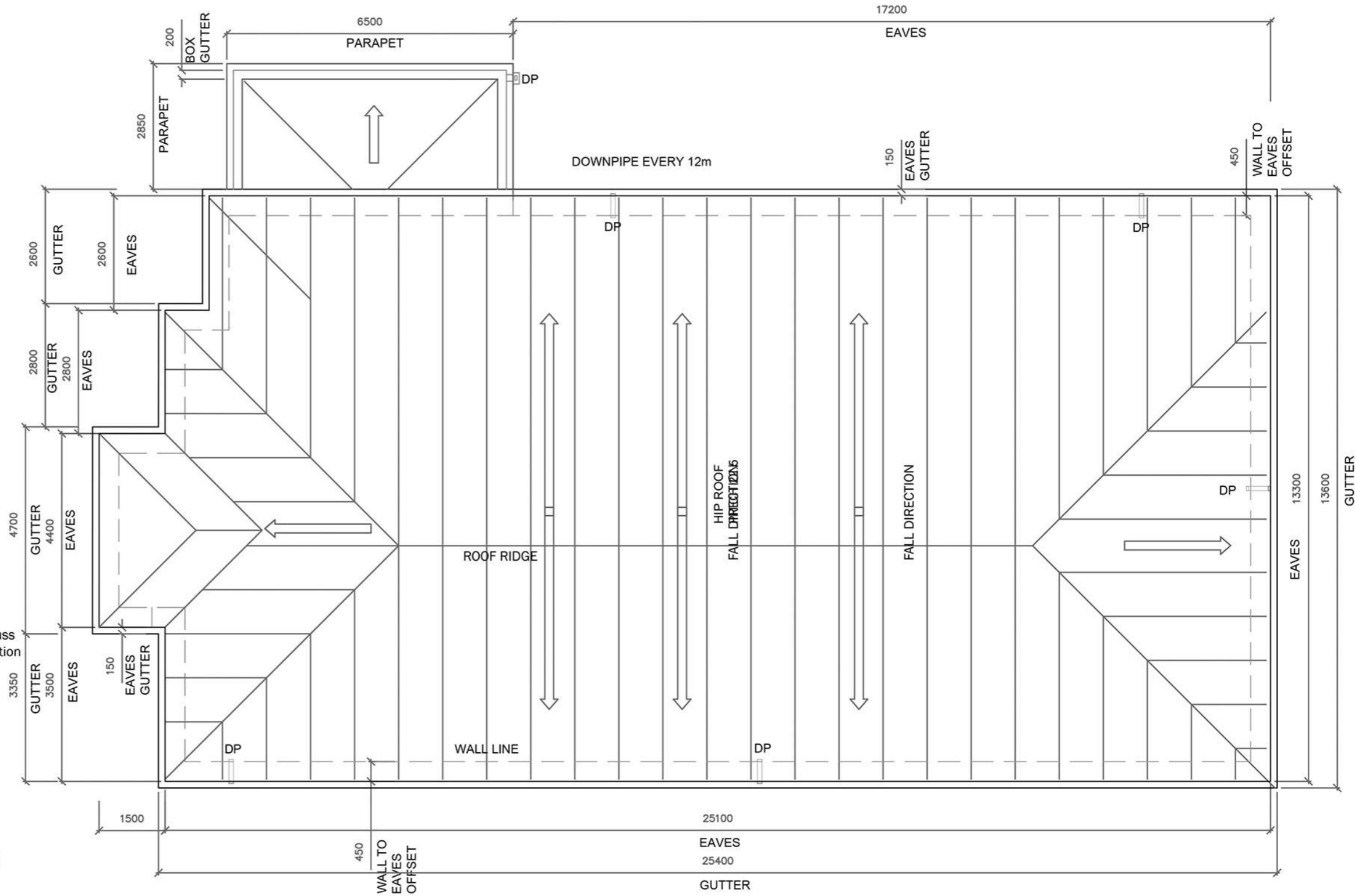
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INSULATION LAYOUT PLAN ROOF CEILING  
SCALE 1:300 @A3

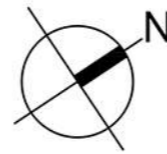


INSULATION LAYOUT PLAN GROUND FLOOR CEILING  
SCALE 1:300 @A3



**NOTE**

- Provide 150mm eave gutter around entire main roof and 200 box gutter above garage and 90mm diameter downpipe
- Hip roof 22.5° pitch supported by rafters spaced 600 CTS and battens spaced 450 CTS with reflective foil on top. Roof is clad with concrete roof tiles
- Roof area on top of front porch in 30° pitch. Water flows and drips down onto eave gutter and drain through downpipe
- Roof truss as per roof manufacturer's specifications
- Plasterboard ceiling attached to the bottom webbing of truss
- Truss spaced at 600mm TBA
- Services run in between webbing of truss. Ceiling insulation placed above plasterboard
- Insulation 250-300mm thick R5 rating + foil underneath
- Gutter fall is 1°. Total rise/fall is 105mm
- Siffening plates at some truss webbing junctions



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# COLOUR BOARD & VISUAL SAMPLES

## FRONT FACADE PAINT

Color from Dulux Paint Color board



Oyster Linen A215



Shell White B9

## PORCH & BALCONY CLADDING



Ivory creamy white  
Stack stone

## GARAGE EXTERNAL CLADDING

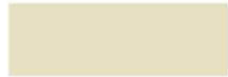


Ivory creamy white  
stack stone

## GARAGE PANEL LIFT DOOR



Colorbond panel lift garage  
door



Colorbond  
Classic Cream

## BALCONY FINISH



Frosted glass balcony with painted  
steel balustrade

## ROOF



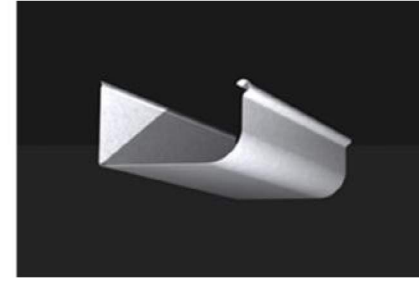
Boral Wide Chocolate French Terra Cotta  
Roof tiles

## CONCRETE DRIVEWAY



Exposed aggregate  
concrete driveway

## EAVES GUTTER AND DOWN PIPE

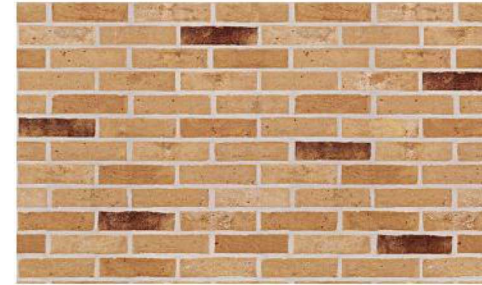


LYSAGHT SQUAD GUTTER 175  
Zincalume steel



STEELINE TAPERED SQUARE  
DOWNPIPE  
Zincalume steel

## BRICKWORK ON NORTH, WEST, EAST FACADE



Mosa brickwork: light  
yellow brown color

## WINDOWS AND DOOR



Aluminium windows



Dark brown timber door with clear  
glass

## NOTES

- Porch is cladded with stack stone
- Render on front facade returns 1.5m on side facades followed by mosa brickwork
- Clear glass windows on all facades
- Entrance door and balcony door are timber

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