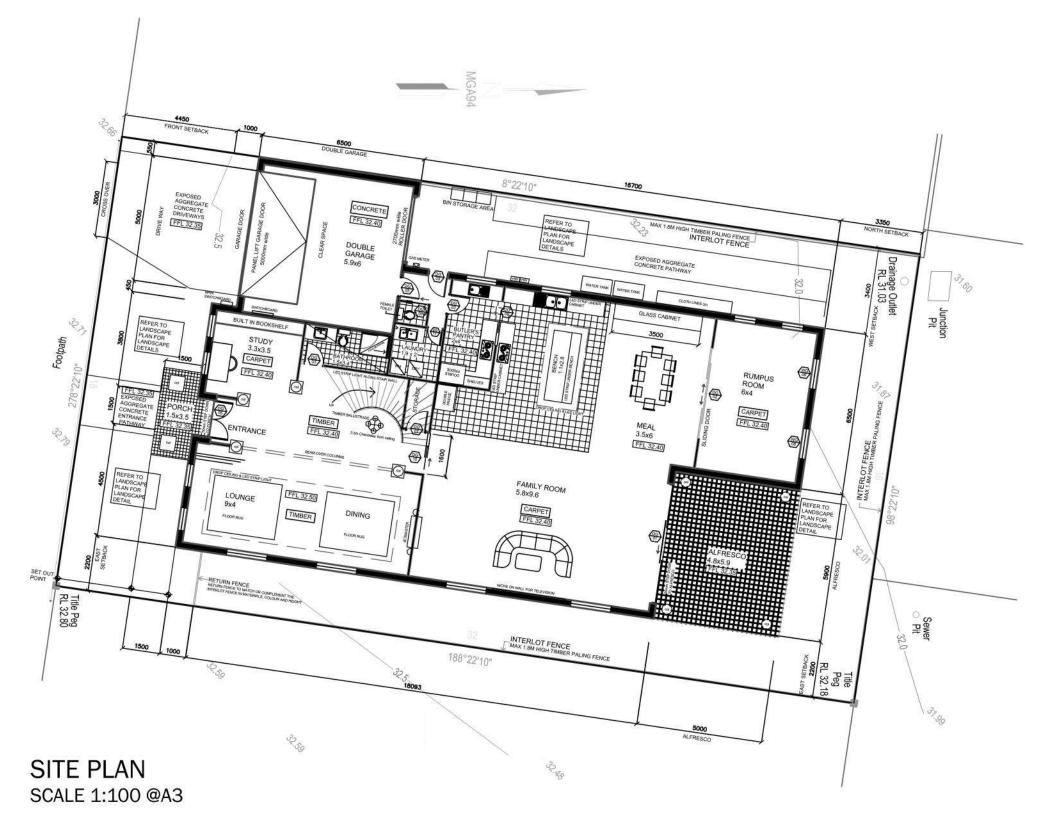
DISCLAIMER

The following drawings are applicable to the Building Permit . However, Samraj Project & Design Pty. Ltd. or the author of this drawing (i.e staff member) take no responsibility for any unforeseen design documentation items and circumstances during any stage of construction and is not responsible for any consequential losses or damages incurred on the site to the client.

- 1. These drawing shall be read in conjunction with all other consultants' drawings and documents and with any other written instructions issued in the course of the building contract and specification
- 2. DO NOT SCALE FROM DRAWINGS, figured dimensions shall take precendence over scaled dimensions. Site plan measurements in meters- all other measurements in milimeters
- 3. Set outs, levels, and dimensions shall be verified prior to comencement of any works being carried out and/or materials being ordered. A survey has been supplied, floor levels are determined by assumed levels adjacent to residence and maybe adjusted on site by builder at builder discretion.
- 4. Retaining walls to be constructed immediately after excavation. Retaining walls to be constructed and protection notice served in accordance with Building Act 1993. Owner/ contractor is to provide insurance, survey of existing conditions and neighbors consent for construction in accoradnace with Act.
- 5. Walls on boundaries to comply with Recode Clause 55. Max Ave. Height 3.00 m on or within 150mm of boundary. Minimum 1.00m light court to neighbors
- 6. Fire separation of buildings on boundary to NCC.3.7.1
- 7. Stormwater drains to be drained to legal point of discharge as directed by local authority and in accordance with AS3500.3. All sewer pipes should be connected to existing sewer lines as per council regulations
- 8. Windows and door as per AS 2047-2014
- 9. Concrete slab and surrounding as per AS 3600
- 10. Timber materials, workmanship and practice as per AS 1720 TIMBER ENGINEERING CODE AND AS 1684 TIMBER FRAMING CODE.

DRAWING SCHEDULE

BP-00	COVER SHEET/ GENERALNOTES	
BP-01	PROPOSED BUILDING & SITE PLAN	1:150 @A3
BP-02	GROUND FLOOR PLAN	1:100 @A3
BP-03	FIRST FLOOR PLAN	1:100 @A3
BP-04	ELEVATIONS	1:100 @A2
BP-05	FRONT ELEVATION RENDER	1:100 @ A3
BP-06	SECTION, WINDOW & DOOR SCHEDU	LE 1:100 @A2
BP-07	ROOF PLAN	1:100 @A3
BP-08	LANDSCAPE PLAN	1:100 @A1, 1:200 @A3
BP-09	VISUAL SAMPLES	
BP-10	JOINERY AND INTERNAL ELEVATION	(to be finalized)
BP-11	ELECTRICAL PLAN	(to be finalized)





NOTES:

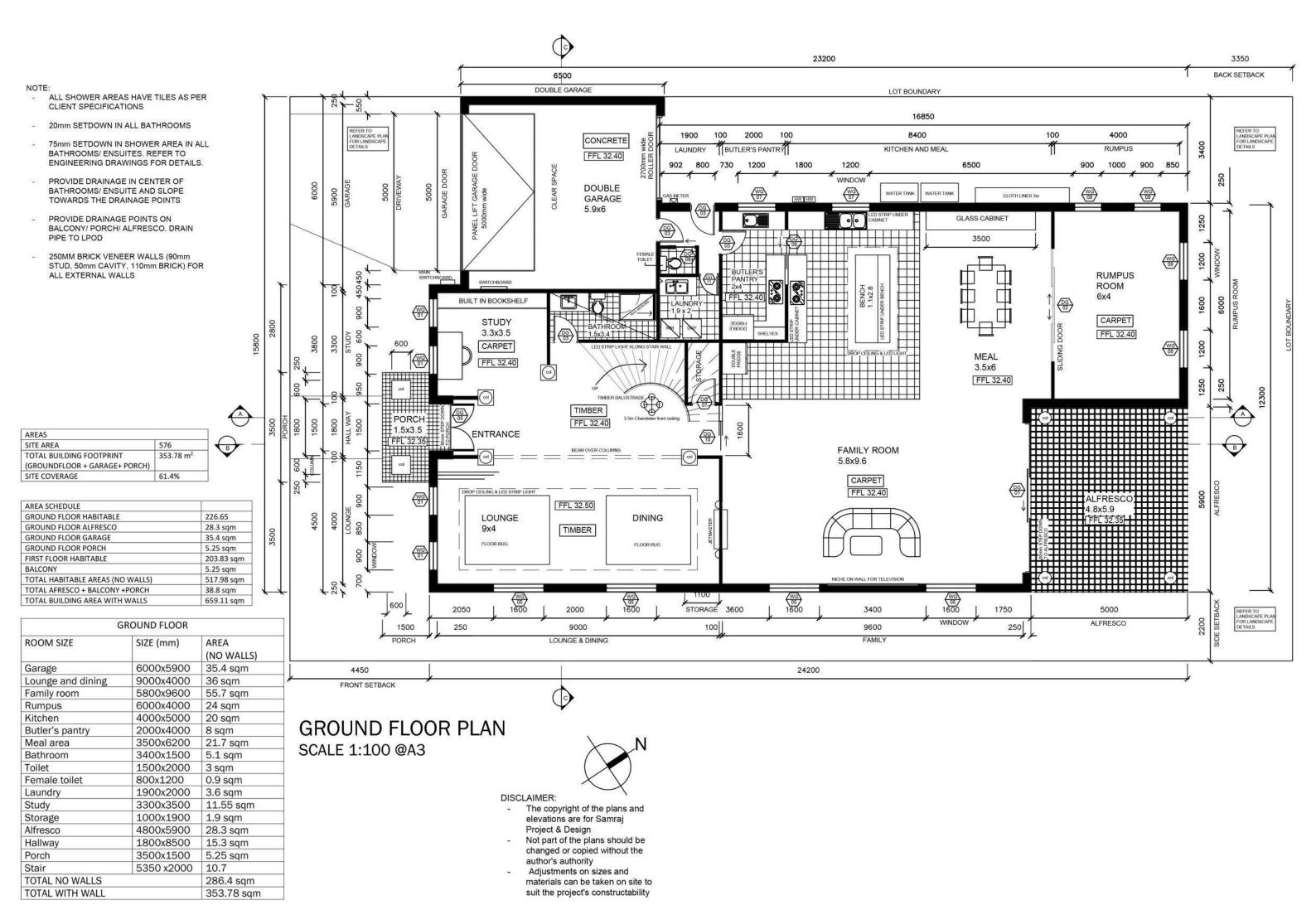
ANY SERVICE EQUIPMENT, SHEDS, BINS, AND OTHER ANCILLARY ITEMS MUST MEET THE REQUIREMENTS OF SECTION 4.4 OF TULLIANLIAN DESIGN GUIDELINES

ALL FENCES MUST COMPLY WITH THE REQUIREMENTS OF SECTION 4.3 OF TULLIANLLAN DESIGN GUIDELINES

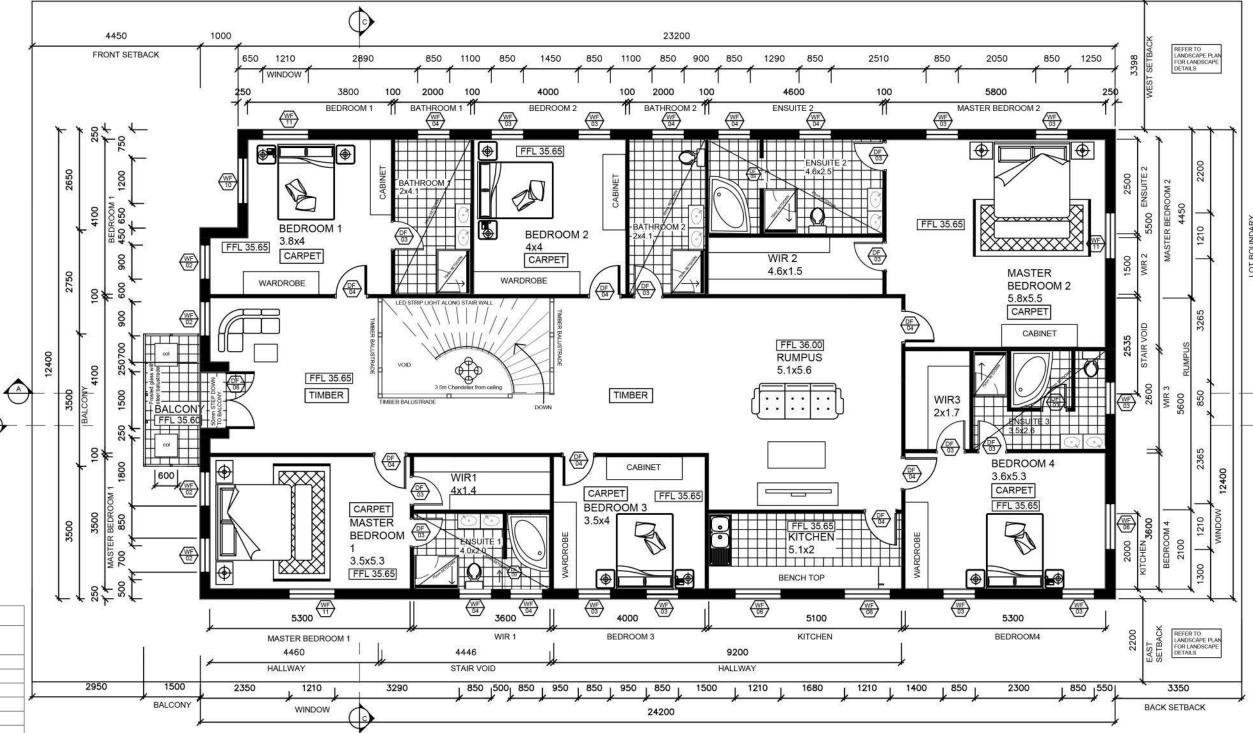
THIRD PIPE MUST BE CONNECTED TO ALL TOILETS AND FRONT AND REAR GARDEN IRRIGATION, AS PER SECTION 3.3 RECYCLED WATER OF THE TULLIANLLAN DESIGN GUIDELINES

LETTER BOX MUST COMPLEMENT THE DWELLING IN COLOR, DESIGN AND MATERIAL. SINGLE POST SUPPORTED LETTERBOXES ARE NOT PERMITTED

SITE AREA FOR SOFT+ HARD LANDSCAPE REFER TO NADIKA DESIGN LANDSCAPE DRAWING (CLIENTS TO DISCUSS WITH BUILDER/ CONTRACTOR)







WALLS
FIRST FLOOR

ALL SHOWER AREA HAVE TILES AS PER CLIENT

20mm SETDOWN IN ALL BATHROOMS

PROVIDE DRAINAGE IN CENTER OF

THE DRAINAGE POINTS

75mm SETDOWN IN SHOWER AREA IN ALL BATHROOMS/ ENSUITES. REFER TO ENGINEERING DRAWINGS FOR DETAILS.

BATHROOMS/ ENSUITE AND SLOPE TOWARDS

PROVIDE DRAINAGE POINTS ON BALCONY/

250MM BRICK VENEER WALLS (90mm STUD,

50mm CAVITY, 110mm BRICK) FOR ALL EXTERNAL

PORCH/ ALFRESCO. DRAIN PIPE TO LPOD

SPECIFICATION

ROOM SIZE SIZE (mm) AREA (NO WALLS) 3500x5300 18.55sgm Master bedroom 1 5500 x 5800 31.9 sqm Mater bed room 2 Bedroom 1 4000 x 3800 | 15.2 sqm Bedroom 2 4000 x 4000 16 sqm Bedroom 3 3500 x 4000 | 14 sqm 3600 x 5300 | 19.08 sqm Bedroom 4 Rumpus room 5100 x 5600 28.56 sqm Bathroom 1 2000 x 4100 | 8.2 sqm 2000 x 4100 8.2 sqm Bathroom 2 4000 x 2000 8 sqm Ensuite 1 4600 x 2500 11. 5 sqm Ensuite 2 Ensuite 3 2800x2500 7 sqm WIR 1 4000x1400 5.6 sqm WIR 2 4600x1500 6.44 sqm WIR 3 1700x2000 3.4sqm 2000x5100 Kitchen 10.2 sqm Hallway 22.5 sqm Balcony 3500x1500 5.25 sqm TOTAL NO WALLS 231.58 sqm TOTAL WITH WALL 305.33 sqm

FIRST FLOOR PLAN SCALE 1:100 @A3



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NORTH ELEVATION SCALE 1:100 @A2



EAST ELEVATION SCALE 1:100 @A2



WEST ELEVATION SCALE 1:100 @A2

NOTE:

- PORCH AND BALCONY CLADDED WITH STACKSTONE. COLORS TO CONTRACTOR/BUILDER/CLIENT SPECIFICATION
- 250mm BRICK VENEER CAVITY WALL FOR EXTERNAL WALL. COLOR OF BRICKWORK AS PER CLIENT/ BUILDER/CONTRACTOR SPECIFICATION
- FRONT FACADE IS PAINTED AS PER CLIENT/ BUILDER/ CONTRACTOR SPECIFICATION. ALL MATERIALS ON FRONT FACADE RETURN ALONG SIDE ELEVATION FOR 1.5m
- 450mm EAVES AND 150 EAVES GUTTER TO ENTIRE UPPER LEVEL

- 200mm PARAPET WITH 200 BOX GUTTER ABOVE GARAGE WALL
- PROVIDE 90mm DIAMETER DOWNPIPE EVERY
- HIP ROOF WITH 22.5 PITCH CLADDED WITH CONCRETE ROOF TILES
- WINDOWS AND DOORS TO BE REVIEWED BY CLIENTS
- EXTERNAL DOORS (ENTRANCE AND BALCONY) TO BE DECIDED WITH CONTRACTOR/BUILDER/CLIENT

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MATERIAL SCHEDULE

230X110X76mm EXPOSED BRICK WALL	NORTH, EAST AND WEST FACADE
STACK STONE	PORCH AND BALCONY CLADDING
COLORBOND PANEL LIFT GARAGE DOOR	FRON FACADE, GARAGE
BRICK WALL WITH PAINT FINISH COLOR SPECIFIED IN DRAWING	EAST, WEST AND NORTH FACADE

NOTE FOR CONSTRUCTION (BUILDER/CLIENT CAN SELECT AND SPECIFY ALTERNATIVE MATERIALS)

CLIENTS TO SUPPY ALL TILING, PAINTING, BRICKWORK & RENDER FOR INTERNAL AND EXTERNAL WALL+FLOOR (TO BE DISCUSSED WITH BUILDER/ CLIENT)

ROOF:

- HIP ROOF WITH 22.5 PITCH,
- WATERPROOFING MEMBRANE ON TOP
 ROOF CLADDED WITH CONCRETE
- ROOF TILES
 PROVIDE 90mm DIAMETER DOWNPIPE
 EVERY 12m

W4 | WF-4 Awning 1372 850 INTERNAL WALL: WINDOW & DOORS: - 90mm STUD WALL AS PER AS 1684 SIZE AND MATERIALS SELECTED FROM W5 WG-5 Combined 1600 1600 +R2.5 INSULATION +10mm RYLOCK WINDOWS PLASTERBOARD WITH PAINT FINISH WF-5 fixed and ALUMINUM FRAME USED FOR ALL awning INTERNAL TILE LINING HEIGHT IN WET **WINDOWS** W6 WG-6 1210 Sliding 1372 AREAS AND KITCHEN TO BE DECIDED WF-6 BY CLIENTS/ BUILDER ALL WINDOWS HAVE FLYSCREEN W7 WG-7 Sliding 1600 1200 EXTERNAL WALL: TIMBER FRAME USED FOR ALL W8 WG-8 1200 Combined 1600 250mm BRICK VENEER CAVITY WALL INTERNAL DOORS EXCEPT D2 fixed and AS PER AS3700 (90mm STUD,50mm ROOF TRUSS SPACED AT 600 CTS, INSULATION R5 AND FOIL IN BETWEEN EXTERNAL TIMBER DOORS USE SOLID awning CAVITY AND 110mm BRICK). PAINTED BRICK VENEER WALL AT FRONT TIMBER FRAME W9 WG-9 Awning 1500 900 BEDROOM 1 FACADE WITH MATERIALS RETURNING TIMBER TREATED FOR WET AREA 1.5m ON EAST, WEST FACADE W10 | WG-Casement 1700 1200 10 FLOOR SYSTEM - GROUND FLOOR: GLAZING STRENGTH TO MINIMUM W11 | WG-Combined 1372 1210 100mm INFILL SLAB AND FLOOR RATING AS PER AS4055-2006 11 fixed and FINISHED AS SPECIFIED IN FLOOR POSI STRUTS SPACED AT 600 CTS, INSULATION R2 IN BETWEEN awning FCL GROUND LEVEL 2800 AHD 35200 PLANS IN ACCORDANCE WITH AS3600. WINDOWS AND DOORS SELECTED AS REFER TO STRUCTURAL DRAWINGS SUGGESTED BY ENERGY REPORT FOR SLAB DETAILS FROM FRATER GROUP CODE TYPE D1 DG-1 Sliding 2100 4800 ADJUSTMENTS IN SIZE AND FLOOR SYSTEM- FIRST FLOOR: POSI STRUTS @ 600mm CTS WITH R2 MATERIALS CAN BE MADE ON SITE (D2 DG-2 Sliding 2100 3600 TO BE DISCUSSED WITH BUILDER/ GAL ST **INSULATION IN BETWEEN +10mm** CONTRACTOR) YELLOW TONGUE PARTICLE BOARD. FLOOR FINISHES SPECIFIED IN FLOOR D3 DG-3 Single 2100 800 13 100mm THICK RAFT SLAB PLANS. REFER TO STRUCTURAL DF-3 SECTION C @ SCALE 1:100 DRAWINGS FOR DETAILS D4 DG-4 2100 900 Single DF-4 D5 DF-5 Double 2100 1500 D6 DG-6 Double 2100 1500 DF-6 D7 DG-7 Single 2000 800 DF-1 ROOF TRUSS SPACED AT 600 CTS, INSULATION R5 AND FOIL IN BETWEEN D8 DG-8 Sliding 2100 600 HALLWAY WIR 3 ENSUITE 3 D9 DG-9 Sliding 2100 800 RUMPUS DF-9 D10 | DG-10 | Sliding 2100 1600 DOWNPIPE GOING DECORATIVE AHD 35650 POSI STRUTS SPACED AT 600 CTS, INSULATION R2 IN BETWEEN D11 | DG-11 | Single 2100 650 FCL GROUND LEVEL 2800 AHD 35200 PLASTER DETAILS WITH BUILDER/ STUDY KITCHEN & DINING AREA ALFRESCO

LOUNGE

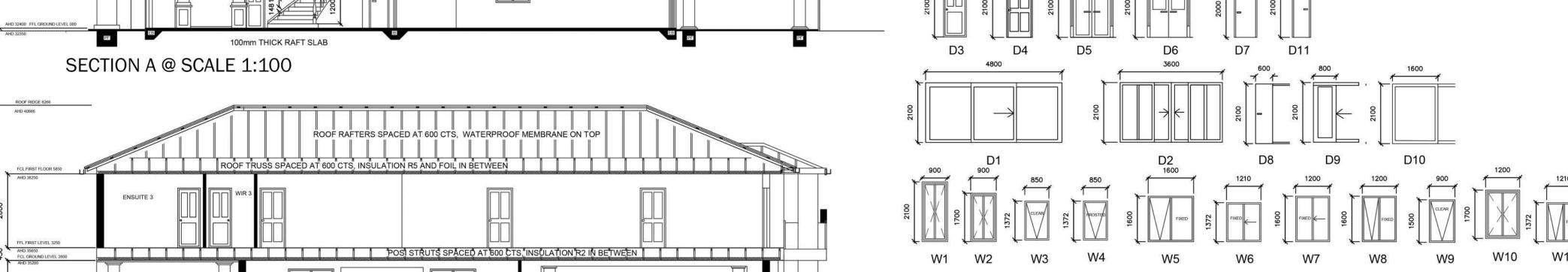
W1 WG-1 Casement 2100 900 4 Study, Clear glass with aluminum Lounge and dining frame W2 WF-2 Casement 1700 900 Bedroom1, Master Clear glass with aluminum bedroom 1 frame W3 WG-3 1372 Awning 850 Bedrooms Clear glass with aluminum WF-3 Bathrooms Frosted glass with aluminum frame Lounge and dining, Clear glass with aluminum 4 Family room frame Bedroom 4, kitchen on | Clear glass with aluminum 1st floor frame Butler's pantry, Clear glass with aluminum Kitchen on groundfloor frame Clear glass with aluminum Rumpus room 2 frame 2 Rumpus room Clear glass with aluminum Bedroom Clear glass with aluminum frame Bedroom 1, Master Clear glass with aluminum bedroom 1 frame DOOR SCHEDULE WALL OPENINGS DIMENSION HEIGHT | WIDTH | QTY | ROOMS **REMARKS** Clear glass with timber frame Rumpus room ground floor Family room Clear glass with aluminum frame from RYLOCK Kitchen, Bathrooms, Timber frame **Bedrooms** Timber frame Balcony Clear glass with solid timber frame Entrance Clear glass with solid timber frame Storage Timber frame Female toilet Timber frame Kitchen, Ensuites Clear glass with timber frame Family room Cleard glass with timber frame Laundry Clear glass with aluminum frame D5 D6 D7 D11

WINDOW SCHEDULE WALL OPENINGS DIMENSION
Size and materials selected from RYLOCK WINDOWS

REMARKS

HEIGHT | WIDTH | QTY | ROOMS

CODE TYPE



SECTION B @ SCALE 1:100

ALFRESCO

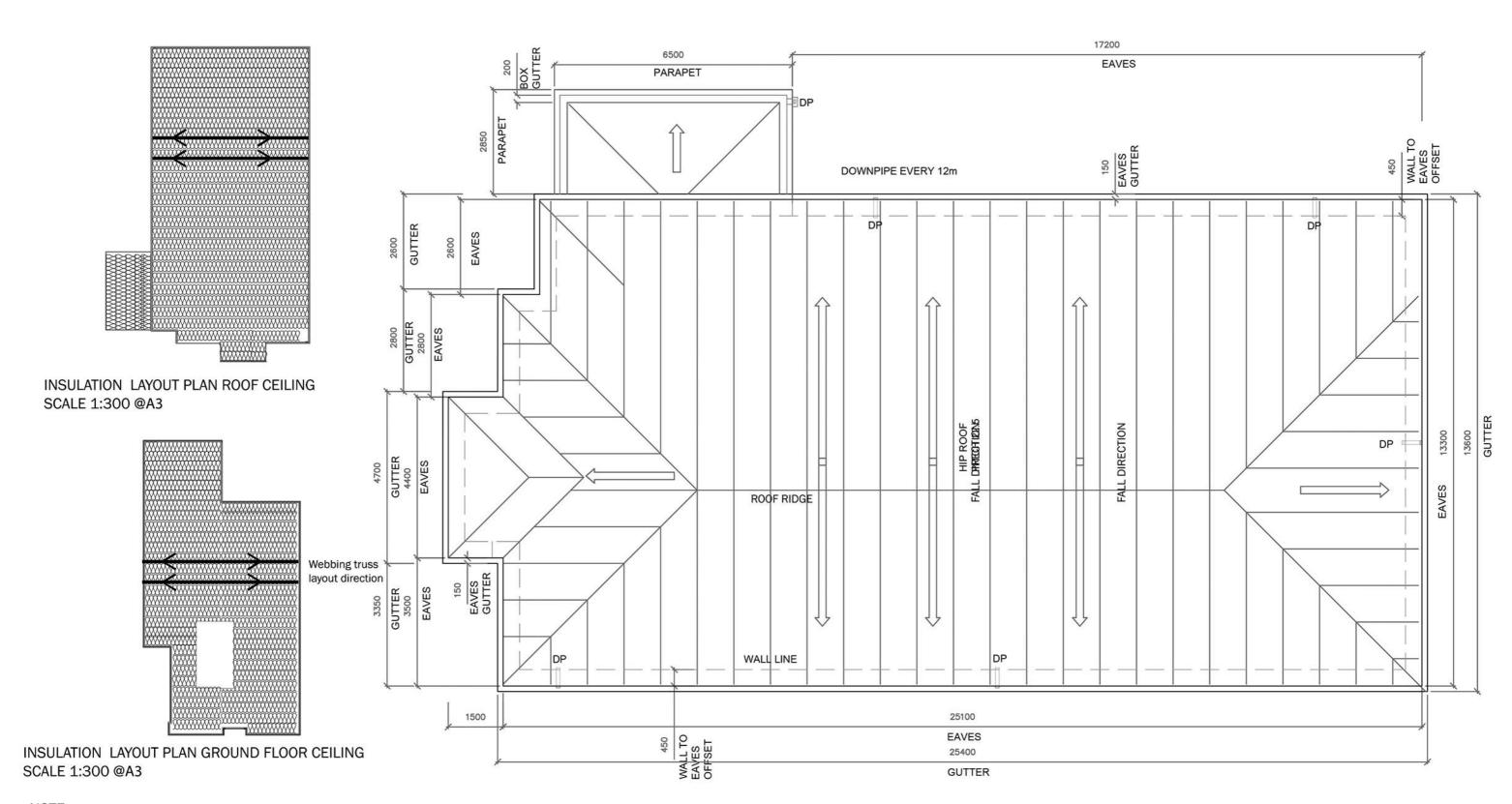
FAMILY ROOM

100mm THICK RAFT SLAB

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NOTE

Provide 150mm eave gutter around entire main roof and 200 box gutter above garage and 90mm diameter downpipe

Hip roof 22.5° pitch supported by rafters spaced 600 CTS and battens spaced 450 CTS with reflective foil on top. Roof is cladded with concrete roof tiles

Roof area on top of front porch in 30° pitch. Water flows and drips down onto eave gutter and drain through downpipe

Roof truss as per roof manufacturer's specifications

Plasterboard ceiling attached to the bottom webbing of truss

Truss spaced at 600mm TBA

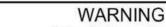
Services run in between webbing of truss. Ceiling insulation placed above plasterboard Insulation 250-300mm thick R5 rating + foil underneath

Gutter fall is 1º. Total rise/fall is 105mm

Siffening plates at some truss webbing junctions



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The location of services are indicative only and must be proven on site prior to commencement of works.

Contractor to verify all dimensions on site before commencing work. Report all discrepancies to the superintendent prior to construction. Figured dimensions to be taken in preference of scaled drawings. All drawings may not be reproduced or distributed without prior consent of landscape architect

LEGEND

PROPOSED DECIDUOUS TREE in mulched garden bed refer to planting schedule and details



PROPOSED EVERGREEN TREE













FEATURE SCREEN

To be selected by client

LEAST 200MM AROUND SIDES FOR BACKFILLING WITH TOPSOIL in mulched garden bed refer to planting schedule and details 2. APPLY FERTILISER IN BASE OF HOLE, COVER WITH TOPSOIL (TYPE & RATE AS PER SPEC). AVOID ROOT CONTACT PROPOSED MEDIUM SHRUBS refer to planting schedule for species and densities 3. PLACE PLANT IN CENTRE OF HOLE, BACKFILL WITH 200mm pot sizes APPROVED TOPSOIL, FIRMING PROGRESSIVELY PROPOSED SHRUB PLANTING MIX 4. WATER WELL INTO SAUCER AROUND CROWN OF PLANT refer to planting schedule for species and densities 150-200mm pot sizes 5. STAKE LARGER SHRUBS WHERE NECESSARY, USING 50X50X1200 MM HARDWOOD STAKES PROPOSED GROUNDCOVER MIX refer to planting schedule for species and densities PROVIDE MOUNDED TOPSOIL BERM TO 150mm pot sizes HOLD WATER DURING MAINTENANCE AND ESTABLISHMENT PROPOSED NATURAL STEPPING STONE as shown and specified -75mm DEPTH ORGANIC MULCH LAYER AS SPECIFIED. ENSURE MULCH IS AWAY FROM STEAM OF SHRUB PRE GROWN TURF -100mm DEPTH CULTIVATED EXISTING TOP SOIL AS SPECIFIED EXPOSED CONCRETE -300mm CULTIVATED SUBGRADE **GRANITIC SAND** -BREAK UP SIDES AND BASE OF HOLE CONCRETE PAVERS

1. DIG HOLE TWICE AS DEEP AS ROOTBALL AND ALLOW AT

SHRUB PLANTING NOTES:

15 Da

50 Kp

55 Sa

D1 TYPICAL SHRUB PLANTING IN MULCHED GARDEN BED DETAIL (LA-001) DETAIL

-ALL TREES TO BE HEALTHY WELL GROWN SPECIMENS FREE OF PESTS AND DISEASES. TREES TO BE WATERED WHILE STILL IN THEIR POTS, PRIOR TO PLANTING. -STAKE ALL TREES WITH 2 NO. 50x50x2400mm CHISEL POINTED HARDWOOD STAKES. TIE

TREES IMMEDIATELY AFTER PLANTING WITH FLEXIBLE CANVAS OR RUBBER TIES IN A FIGURE 8. SECURE TIE TO STAKES BY WRAPPING AROUND STAKE AND NAILING WITH GALVANISED NAILS. -ENSURE TOP OF ROOT BALL TO MATCH

WITH SURROUNDING SURFACE LEVEL. GENTLY TEASE OUTER ROOT SYSTEM AVOIDING MAJOR DISTURBANCE OF PLANT. -SOIL RING BERM FORMING A WATERING SAUCER AROUND IMMEDIATE CROWN OF PLANT TO HOLD AT LEAST 5LITRES OF WATER. KEEP MULCH AWAY FROM TRUNK BASE -SPREAD 75MM LAYER OF MULCH OVER ROOTBALL AND BACKFILL

-CULTIVATED EXISTING SITE TOP SOIL AS SPECIFIED

-APPLY OSMOCOTE SLOW RELEASE FERTILISER 50 GMS TO EVERGREEN TREE SPREAD INTO BACKFILL. AVOID DIRECT ROOT CONTACT WITH **FERTILISER** -PACK BACKFILL SOIL AROUND BASE OF

ROOTBALL TO STABILISE; ALLOW REST OF BACKFILL TO SETTLE NATURALLY, OR TAMP LIGHTLY -SET BALL ON UNDISTURBED SOIL TO

PREVENT SETTLING -EXTEND STAKES INTO UNDISTURBED SOIL

D2 TYPICAL TREE PLANTING DETAIL (LA-001) DETAIL

	Botanical Name	Common name	Pot size	Size at maturity (HxW)	Qty/ density
Trees	Supplied to the supplied to th	O Martin	45.14-	7	-
Bm	Backhousia myrtifolia	Grey Myrtle	45 Ltr	7m x 5m	1
Jm	Jacaranda mimosifolioa	Jacaranda	100 Ltr	15m x 8m	11
Fe	Fraxinus excelsior	Golden Ash	100 Ltr	12m x 10m	1
Lp	Leptospermum petersonii	Lemon Scented Tea Tree	45 Ltr	5m x 3m	7
Ms	Magnolia x soulangiana	magnolia	45 Ltr	7m x 7m	2
Shrub	s:				
Mv	Metrosideros vitiencensis 'Fiji Fire'	Fiji Fire NZ Christmas Bush	200mm	2.5m x 1.5m	8
Lm	Liriope muscari 'Variegata'	Variagated Lilly Turf	150mm	0.3m x 0.3m	60
Lb	Leucophyta brownii	Silver Cushion Bush	150mm	0.7m x 1m	40
Dr	Dianella revoluta	Spreading Flax Lily	150mm	0.5m x 0.5m	50
Kb	Kalanchoe blossfeldiana	Flaming Katy	150mm	0.3m x 0.3m	50
Go	Goodenia ovata	Hop Goodenia	150mm	1m x 1m	45
LI	Lomandra longifolia	Spiny Headed Mat-Rush	150mm	1m x 1m	30
Po	Patersonia occidentalis	Purple Flag	150mm	0.5m x 0.5m	50
Wf	Westringia fruticosa	Coastal Westringia	200mm	1.5m x 1.5m	5
Groun	dcovers:				
Cs	Convolvulus sabatius ssp. Mauriticanus	Ground Morning Glory	150mm	spreading	20
Ca	Chrysocephalum apiculatum	Yellow Buttons	150mm	0.2m x 1m	20
Da	Dichondra argenta 'Silver Falls'	Silver falls Kidney Weed	150mm	0.2m x 1.5m	15
Кр	Kennedia prostrata	Running Postman	150mm	spreading	50
Мр	Myoporum parvifolium 'Yareena'	Creeping Boobialla	150mm	spreading	100
Sa	Scaevola aemula 'Purple Fanfare'	Fan Flower	150mm	0.2m x 1.5m	55
Рр	Pratia penduculata	Matted Pratia	150mm	0.01x0.5m	10
Tj	Trachelospermum jasminoides	Star Jasmmine	150mm	climber	10

Please note that the amount of hard paving

used in the front garden, including driveway,

must not cover more than 50% of the front

<u>m</u> 3.3x3.5

CONCRETE

FFL 32.45

DOUBLE GARAGE

All garden edging to be timber edge.

Mix: 25 Kb

30 Po

FAMILY ROOM

20 Po 20 Go

50 Mp

5.8x9.6

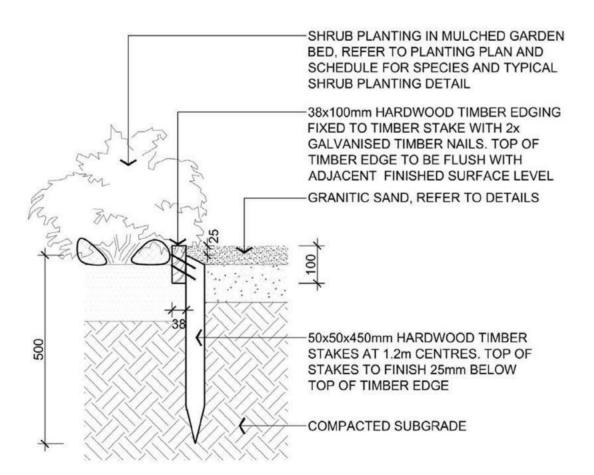
garden area.

Advanced tree min 2m. tall at time of planting

PLANTING PLAN

PLANTING SCHEDULE

(LA-001) PLAN



RUMPUS

ROOM

CARPET

ALFRESCO

4.8x5.9 FFL 32.45

6x4

MEAL

3.5x6 FFL 32.50

TIMBER EDGING IN GARDEN BED DETAIL LA-001 DETAIL

LANDSCAPE NOTES

Tree Protection:

All trees to be retained are to be suitably protected. Maintain existing ground levels at the interface between the ground and the tree trunk. Install a maximum depth of 100mm approved organic mulch, e.g. woodchips, to the radius of the Root Protection Zones (RPZs) beneath the canopy (for grassed areas and garden beds- tapering soil depth towards tree trunk). Area beneath the canopy of the protected trees should be fenced prior to the commencement of the construction activities. No excavation, filling, machinery or storage of materials shall occur within the fenced off area. Roots requiring severance beyond the tree canopy shall be clean cut with hand saw and kept moist. Any roots within the fenced area should not be cut without the approval from an experienced and approved

Soil Preparation:

Prior to spreading topsoil on garden beds and lawn area, the sub-base is to be thoroughly cleared of all building rubble and other debris, then ripped to a depth of 200mm and rotary hoed. Incorporate gypsum at the rate of 2.0 kg/square metre throughout all garden beds

The topsoil blend should consist of the following, or similar approved: 60% Sandy loam, 20% aged sawdust, 20% composted pine bark fines

The pH value of imported topsoil should be between 5.5 -6.5. The organic additives to the sandy loam should be based on well rotten vegetative material or composted animal mature, or other approved material, free from harmful chemicals, grass and wed growth. Ensure soil mix complies with AS 4419-1998 for Landscaping and Garden Use.

Evenly spread a minimum depth of 75mm approved clean, finely graded pine wood mulch (20mm nom. Size) over topsoil excluding areas specified as pebble/rock mulch. Ensure mulch is kept away from tree and shrub trunks. Ensure mulch finishes flush with adjoining finished paving levels.

All plants are to be true to species, healthy, free from pests disease and stress. At the time of planting fertilise all trees (200mm pot size) with 30 grams of 'Osmocote' all purpose general fertiliser. Fertilise all other shrubs and groundcovers with 10 grams of 'Osmocote'. Ensure all plants are well watered in at the time of planting and as necessary for the first year until established. For 150-200mm diameter pots apply 10 litres of water immediately following planting.

Levels/drainage/set-out:

Ground levels within all landscape areas should drain away from buildings towards the paths, pits, kerbs etc. in accordance with all regulations. Ensure all drainage area have contingency overflow clear of buildings.

All dimensions are to be verified on site prior to construction commencing. Any discrepancies are to be immediately reported to the Project Manager for further instruction.

annotation revised by client revisions date project name Please note that the amount of hard paving used in the front garden, 22.12.16 DRAFT NS including driveway, must not cover more than 50% of the front garden area. 11.01.17 For Developer Approval NS All garden edging to be timber edge NS 07.02.17 Planting details and building setbacks NS 30.03.17 Building setbacks project number LANDSCAPE CONCEPT PLAN drawing number scale 1:100 @ A1 1:200 @ A3 FOR DEVELOPER APPROVAL LA-001

WIDTH OF PLANTING HOLE IS:

3 X ROOTBALL DIA. IN HIGHLY COMPACTED SOIL. 2 X ROOTBALL DIA. MINIMUM IN ALL OTHERS.

COLOUR BOARD & VISUAL SAMPLES

FRONT FACADE PAINT

Color from Dulex Paint Color board



Oyster Linen A215



PORCH & BALCONY CLADDING



Ivory creamy white Stack stone

GARAGE EXTERNAL CLADDING



Ivory creamy white stack stone

GARAGE PANEL LIFT DOOR



Colorbond panel lift garage door

Colorbond Classic Cream

BALCONY FINISH



Frosted glass balcony with painted steel balustrade

ROOF



Boral Wide Chocolate French Terra Cotta Roof tiles

CONCRETE DRIVEWAY



Exposed aggregate concrete driveway

EAVES GUTTER AND DOWN PIPE



LYSAGHT SQUAD GUTTER 175 Zincalume steel



STEELINE TAPERED SQUARE DOWNPIPE Zincalume steel

BRICKWORK ON NORTH, WEST, EAST FACADE



Mosa brickwork: light yellow brown color

WINDOWS AND DOOR



Aluminium windows



Dark brown timber door with clear glass

NOTES

Porch is cladded with stack stone

Render on front facade returns 1.5m on side facades followed by mosa brickwork

Clear glass windows on all facades

Entrance door and balcony door are timber

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